

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application is submitted for one or more of the following:

- ☐ Rezoning/Bylaw Text Amendment
☐ OCP Amendment
☒ Development Permit
☐ Development Variance Permit

- ☐ Board of Variance
☐ Temporary Use Permit
☐ _____

Description of Property

Civic Address 717 Towner Park Rd PID 003-387-267

Legal Lot _____ Block _____ Section _____ Range _____ Plan _____

Contacts

Please print clearly.

Applicant

Name <u>Ben Kember</u>		Company <u>Level Headed Ltd</u>	
Address <u>1495 Hillgrove Rd</u>		City <u>North Saanich</u>	
Email <u>S.22(1)</u>		Postal Code <u>V8L 5K6</u>	
Phone	Cell <u>S.22(1)</u>	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) <u>S.22(1)</u>	Date <u>Jan 29 126</u>
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Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell <u>DISTRICT OF NORTH SAANICH</u>	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted:

CASH

CHEQUE

INTERAC

Owner's Authorization



District of North Saanich

Planning & Community Services

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tel 250-655-5470 fax 250-656-0782

www.northsaanich.ca

This form may be used in conjunction with Development Applications where the owner is authorizing an agent to submit an application and liaison with the municipality on his/her behalf.

Description of Property

Civic Address 717 Towner Park Rd

Legal Lot _____ Block _____ Section _____ Range _____ Plan _____

Authorization

Authorization The owner(s) of the above property, hereby authorize and appoint Ben Kember
Print Name

as our agent for the purposes of the submitted application. Permit No. _____

All communication and correspondence regarding this application shall be directed to the applicant.

Owner(s)

Please print clearly.

Owner Name (or Company Representative with Signing Authority) <u>Erin Maar</u>		Company	
Address <u>717 Towner Park Rd</u>		City <u>North Saanich</u>	
Phone <u>S.22(1)</u>	Fax	Postal Code	
Registered Owner Signature (or Company Representative with Signing Authority) <u>S.22(1)</u>		Date <u>Jan 29 /20</u>	

Owner Name (or Company Representative with Signing Authority)		Company	
Address		City	
Phone	Fax	Postal Code	
Registered Owner Signature (or Company Representative with Signing Authority)		Date	

Owner Name (or Company Representative with Signing Authority)		Company	
Address		City	
Phone	Fax	Postal Code	
Registered Owner Signature (or Company Representative with Signing Authority)		Date	

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Development Permit Area No. 1: Marine Uplands and Foreshore

Development Permit Application Guideline Review Table

Please refer to the Development Permit Guidelines set out in the District of North Saanich Official Community Plan, Bylaw No. 1587 (2025)

OCP Section	Guideline	Proposal Details (Describe how your proposal achieves the DP Guidelines)
5.10.2.2 (a)	Provide a minimum 15 metre setback from the natural boundary for new buildings and structures, or additions to existing buildings and structures unless otherwise exempted.	Our proposal is to build a walkway through the natural boundary to the beach
5.10.2.2 (b)	No site alterations, including soil disturbance and tree removal, shall be permitted in the Marine Uplands and Foreshore Development Permit Area, as designated in Section 5.10.2 above, except those explicitly approved in a Development Permit or subject to the exemptions.	There are no soil disturbances or tree removal as part of this project.
5.10.2.2 (c)	Any development or site alteration must be consistent with the Marine Areas policies established in Section 5.9 of the Official Community Plan.	All policies will be followed.
5.10.2.2 (d)	Retention of existing trees and vegetation must be prioritized to preserve the existing habitat and to mitigate erosion.	No existing vegetation or trees are being removed or touched as part of this project.
5.10.2.2 (e)	Where development includes improvements to the lands such as walkways, stairs, seawalls, and landscaping, the improvements should incorporate nature-based solutions as opposed to non-natural materials and non-native plantings.	Landscaping plan has been supplied by the horticulturist with planting of native plants.

5.10.2.2 (f)	Retaining walls are permitted where the area is subject to erosion and where a QEP identifies that natural shore revetment improvements (identified in Section 5.10.2.2(h)(i)) would be insufficient to mitigate natural erosion processes.	N/A
5.10.2.2 (g)	Hard landscaping and stairs shall be permitted to allow for the construction of one pathway on each property leading to the natural boundary/beach. The pathway must be designed to be no wider than 1.5-metres and be designed to limit the total footprint of the pathway. Use of permeable and natural materials is preferred.	This is the scope of the project.
5.10.2.2 (h)	Where shore protection measures are necessary to address natural erosion, shore revetment should be designed to incorporate nature-based solutions including the use of natural materials and vegetation. Hard revetment improvements such as stacked-boulder and concrete walls are discouraged except in cases where a professional has recommended this treatment in which case stacked-boulder walls will be preferred over concrete walls.	There is an existing stacked boulder wall in place that is not being touched.
5.10.2.2 (i)	In cases where hard revetment improvements are deemed necessary, the improvements should be designed to: i) facilitate habitat integration with the shore including tiered retention and natural landscaping; and ii) mimic the natural shoreline function and avoid redirecting erosion forces to adjacent properties.	NA
5.10.2.2 (j)	Modification of channels, banks or shores will not be permitted unless the applicant provides a compelling rationale as to why the works are necessary and identifies the works that will be undertaken to restore the habitat and local hydrological conditions.	NA
5.10.2.2 (k)	Development must be designed to maintain the quality of any storm water flowing toward or into the ocean and to prevent any increase in volume and peak flow of runoff.	No storm water systems are being touched

5.10.2.2 (l)	Where drainage is being directed to the ocean, the drainage system must include flow and erosion controls such as the implementation of holding tanks and splashpads, where deemed necessary by a qualified professional.	NA
5.10.2.2 (m)	Proposed development must be designed to avoid any increase in runoff and to prevent any effluent or storm water discharge that could have a detrimental effect on the environment.	NA
5.10.2.2 (n)	Controls are required on surface-water drainage to prevent pollutants from entering water features.	NA
5.10.2.2 (o)	All areas within 15-metres of the natural boundary of the ocean should be preserved and enhanced with vegetation that is: i) Non-invasive species; ii) Indigenous plants that are suitable for the local climate, site context, and suitable to address ongoing changes in climate; and iii) Drought resistant and not requiring watering systems.	Landscape plan is for native plants and is attached
5.10.2.2 (p)	Intensively landscaped areas and other related activities should be sited so as to prevent nutrient-rich water from entering natural water features.	NA
5.10.2.2 (q)	In cases where the development includes subdivision, the subdivision should be designed to maximize the preservation of the environment and natural habitats. Clustering of development in a manner that reduces the overall footprint of the development is preferred.	NA

5.10.2.2 (r)	Areas identified for protection and preservation as part of a subdivision, zoning, or variance approval should be protected through the implementation of restrictive covenants, along with fencing and signage requirements.	NA
5.10.2.2 (s)	In cases where the development includes construction of a new dock, float, or related improvement, these will be designed in a manner that mitigates alteration of the foreshore and that prioritizes the natural environment and does not impede wildlife.	NA
5.10.2.2 (t)	Development within existing marinas, the development shall be designed to: i) minimize impermeable surfacing and hard revetment improvements; ii) direct intensive uses away from the shoreline to other areas of the property where feasible; and iii) Establish comprehensive waste management plan to treat drainage and to mitigate contaminants and other waste from entering the marine environment.	NA
5.10.2.2 (u)	Areas of eelgrass shall be identified and protected on a no net-loss basis in alignment with the recommendations of a QEP.	NA
5.10.2.2 (v)	Development proposals must indicate how the environmental areas are being improved, maintained, and protected. In cases where existing lots with development constraints are being developed/redeveloped, a no net-loss approach should be considered in the design of the development.	Landscaping plan indicates improvements with additional soil and native plants.

5.10.2.2 (w)	The above guidelines must be addressed by a Qualified Environmental Professional (QEP) through the submission of a letter or detailed environmental report, depending on the scale and scope of development. The letter or report must address the above guidelines and the following items: i) Any records listed in the BC Conservation Data Centre; ii) Any records/data contained in the British Columbia Ministry of Environment's Species and Ecosystem Explorer, specifically addressing plants and animals, and ecological communities; iii) Any records of red-listed, blue-listed, or Species at Risk Act listed species; iv) For any activity in the foreshore, documentation of Provincial and Federal approval with supporting technical reports; v) Submission of a site plan certified by a B.C. Land Surveyor that addresses the following: a) The surveyed location of property lines and the Natural Boundary; b) The proposed location of all development (principal and accessory structures, wells, septic disposal systems, driveways, parking areas, impermeable surfaces) in relation to the established boundaries of the Development Permit Area; c) The direction and quantity of any surface run-off before and after the proposed development; d) The siting and specifications of any existing or proposed stormwater management system. e) Any areas identified by the QEP as being environmentally sensitive and any buffer setbacks necessary to protect those areas; f) Existing trees (including retained and proposed for removal); g) Identification of areas subject to erosion, sloughing, flooding, or landslide; vi) A strategy to mitigate and reduce drainage flows, if required; and vii) Erosion and sediment control plan to address any areas subject to destabilization during land clearing, construction, and rehabilitation.	QEP Report is attached
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Development Permit Area No. 4: Steep Slopes

Development Permit Application Guideline Review Table

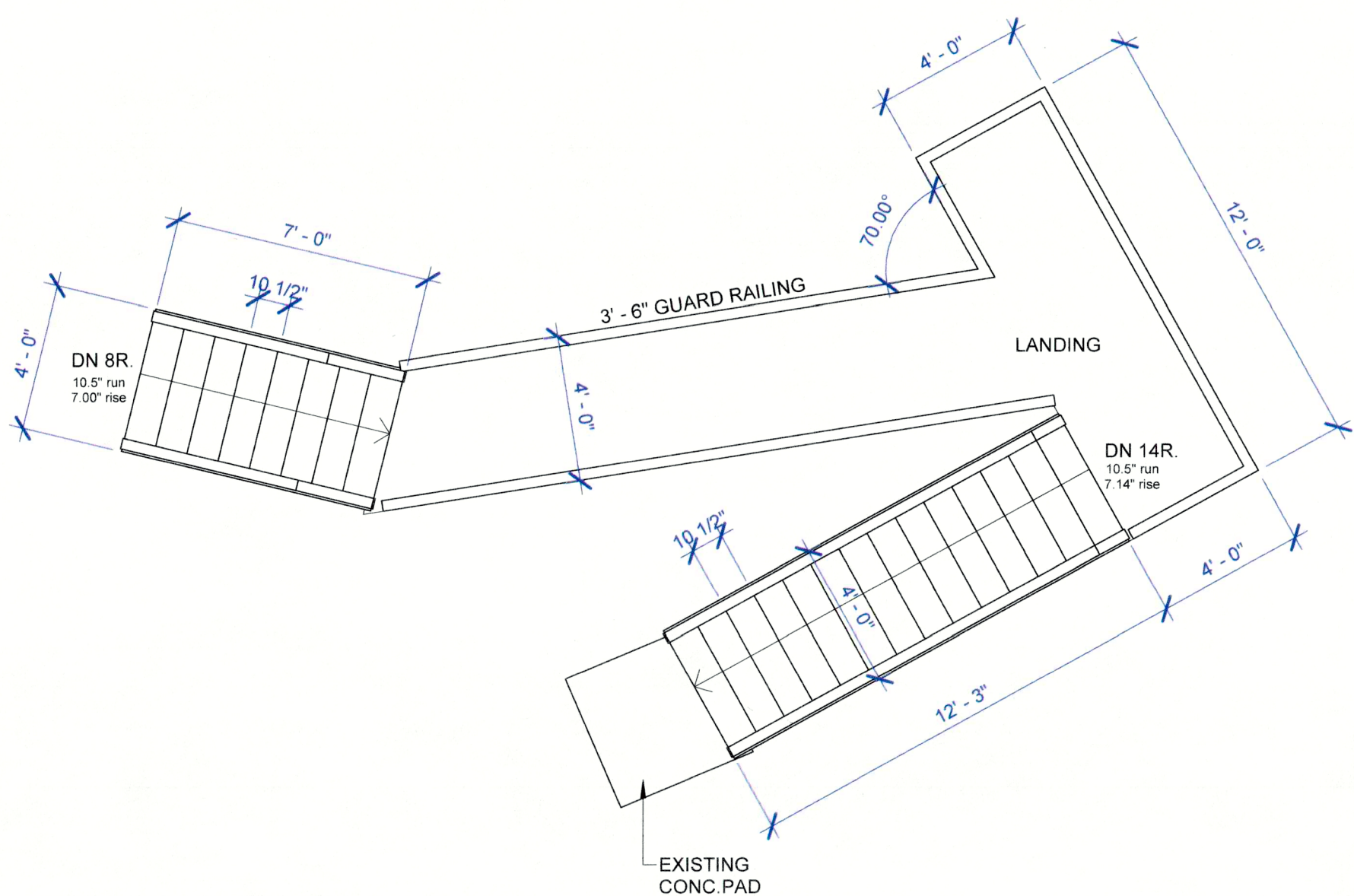
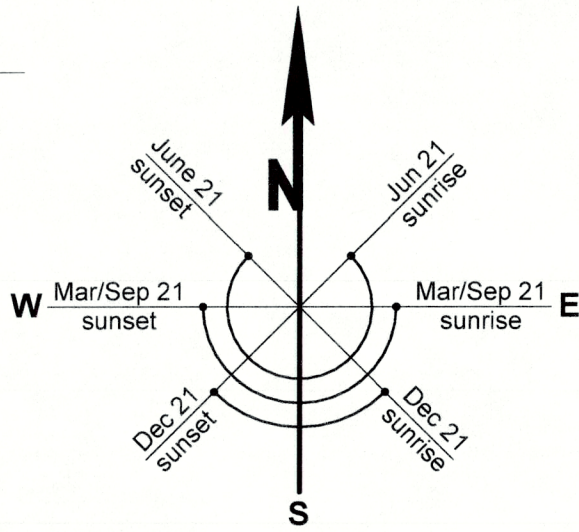
Please refer to the Development Permit Guidelines set out in the District of North Saanich Official Community Plan, Bylaw No. 1587 (2025)

OCP Section	Guideline	Proposal Details (Describe how your proposal achieves the DP Guidelines)
5.10.5.2 (a)	No unnecessary disturbance of the steep slope shall be permitted. Development shall preserve or return natural vegetation on steep slopes and retain the natural terrain, topography of the site, drainage patterns and minimize the cutting into, grading, or filling of slopes.	No disturbance to the slope is being made, and natural vegetation is being planted.
5.10.5.2 (b)	Retaining walls and improvements will only be permitted in the case where the applicant can produce a report from a Qualified Geotechnical Professional identifying the hazard and the risk posed due to the existing condition, and the necessity of the retaining structure to address the hazard. In such cases, retaining improvements must be designed to minimize disturbance of the natural environment.	No retaining walls being built.
5.10.5.2 (c)	Stairs and pathways are discouraged and will only be considered in a steep slope area where the improvements are necessary to access another developable portion of the property or to access the foreshore.	This permit is for a pathway to the foreshore.
5.10.5.2 (d)	In the case of subdivision or rezoning, those areas identified as steep slope shall be kept free of any development or alteration and the area will be fenced.	NA
5.10.5.2 (e)	The District may require the applicant to enter into a Section 219 covenant agreement to ensure that steep slope areas are preserved in their natural state.	Landscaping plan is in permit package

5.10.5.2 (f)	An assessment report prepared by a Professional Engineer with relevant expertise and in conformance with applicable APEGBC Standards is required to assist in determining what conditions or requirements shall be included in the Development Permit so proposed development and adjacent properties are protected from the hazard and no increase in hazard is posed. At the discretion of the District, a peer-review of any such report may be required.	Engineering and geotechnical plans provided.
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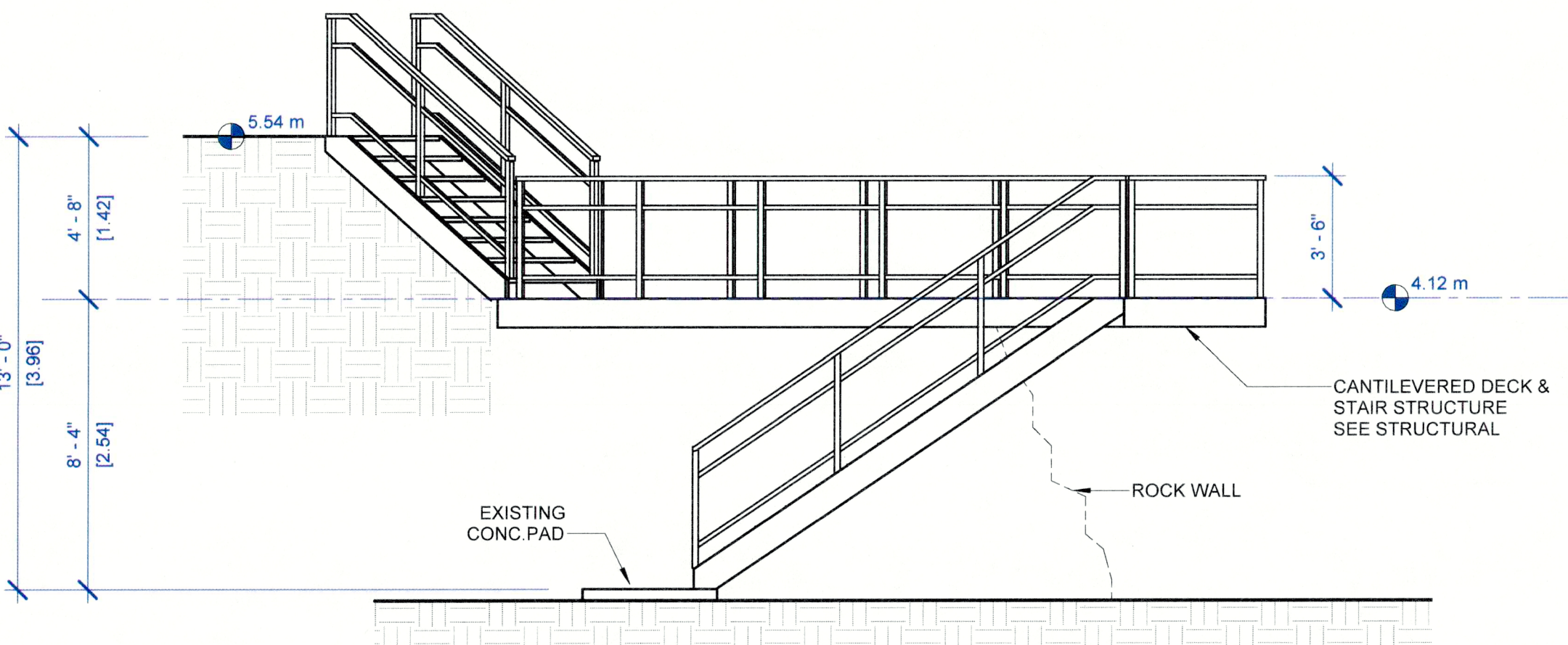
TOWNER PARK ROAD

30.48



STAIRS PLAN

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

PROPOSED GUEST COTTAGE

EXISTING ACCESSORY BUILDING

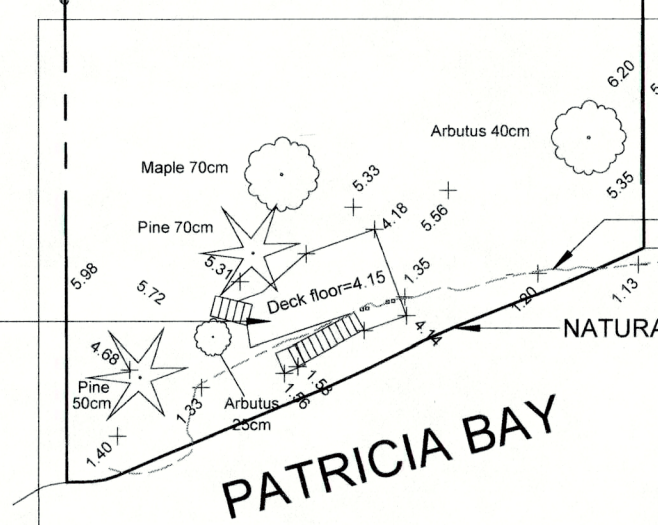
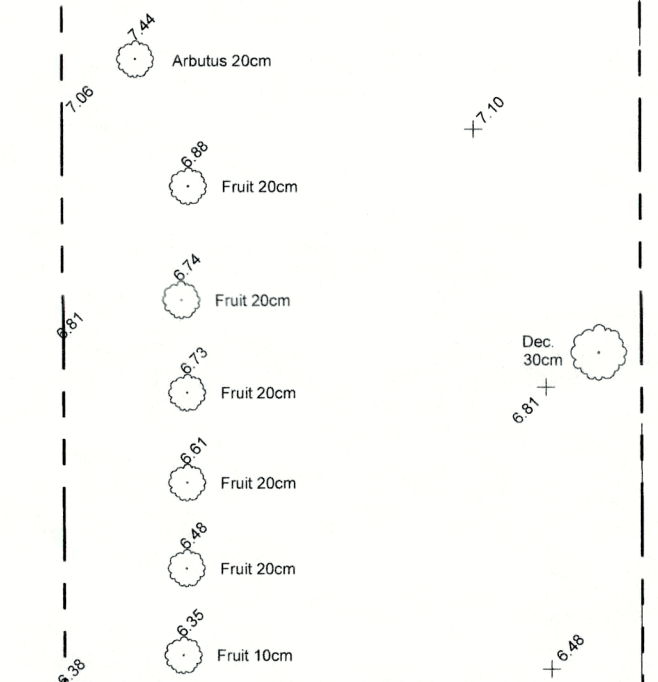
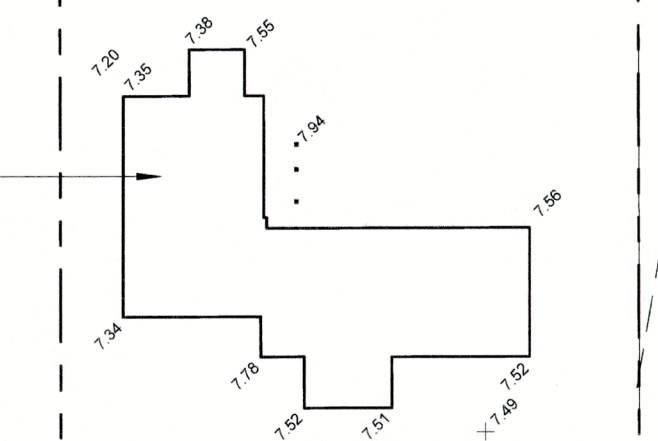
EXISTING PRINCIPAL BUILDING

312.1

EASEMENT E45943

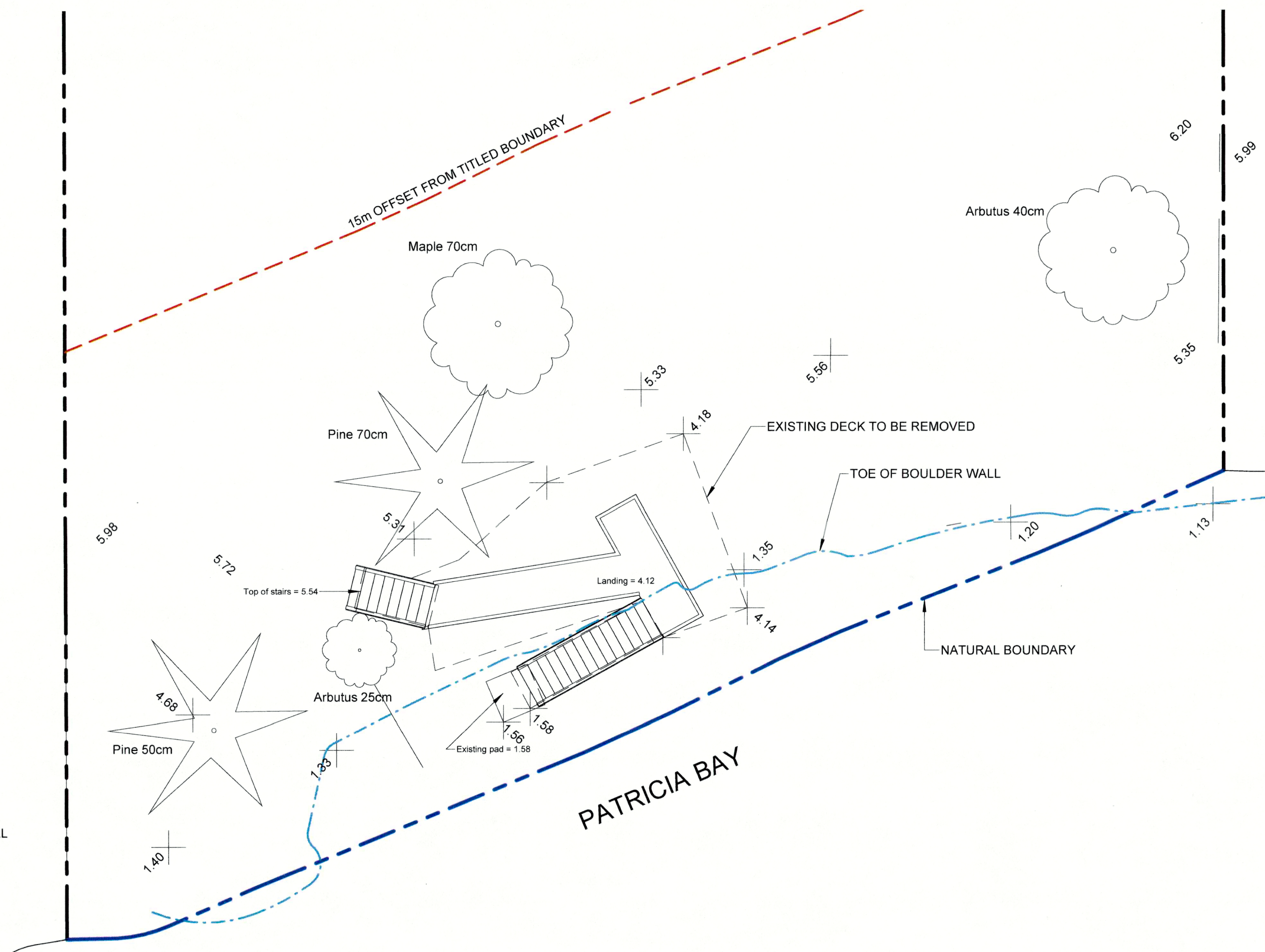
299.7

SRW ECO14947



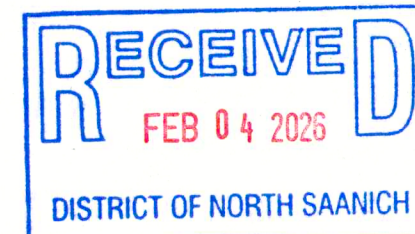
SITE PLAN

1 : 400



PARTIAL SITE PLAN

1 : 100



No.	Date	Approved	Revision Notes
A Feb 03, 2025 Permit set			
No.	Date	Issue notes	
Design Firm			
Aspire Custom Designs 1145 Bule Street Victoria BC Canada V8Z 1L9 Lindsay J Baker 250-415-1856			
Consultant			
Project title			
717 TOWNER PARK RD DECK & STAIRS RENOVATION			
Sheet title			
SITE PLAN / DATA SHEET			
Project manager		Project ID	
D.Petrenko		2025-42	
Drawn By		Scale	
L.Baker		As indicated	
Reviewed By		Date	
Feb 03, 2026		A01	