

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application is submitted for one or more of the following:

- ☐ Rezoning/Bylaw Text Amendment
- ☐ OCP Amendment
- ☐ Development Permit
- ☐ Development Variance Permit

- ☐ Board of Variance
 - ☐ Temporary Use Permit
 - ☒ Development Permit w/ Variance
- DVP 2025-11

Description of Property

Civic Address 10972 MADRONA DR. PID 032-693-109
Legal Lot A Block _____ Section 19 Range 3W Plan EPP148420

Contacts

Please print clearly.

Applicant

Name <u>Ralph + Kim Van Bruggen</u>		Company	
Address <u>10972 MADRONA DR</u>		City <u>NORTH SAANICH</u>	
Email <u>S.22(1)</u>		Postal Code <u>V8L 5R7</u>	
Phone	Cell <u>S.22(1)</u>	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) <u>S.22(1)</u>	Date <u>Feb 9 / 26</u>
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Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted:

CASH

CHEQUE

INTERAC

Development / Variance Permit Application



Part 2

Development Details

Current Zoning

R2

Property Size (m² or ha)

960 m²

Existing Use

Describe Proposal

Requested Variances

Bylaw Section & Requirement	Permitted	Proposed	Difference
Example (Section 204.7 – Building Height)	(9.0m)	(9.5m)	(0.5m)
Section 110.3 (max height)	15 m	3.0m	12.0m

(attach additional information to clarify)

Justification and Support

(attach additional information to clarify)

Site Profile for Contaminated Sites

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" on properties that are/were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*.

Please indicate if:

- yes ☐ no ☒ the property has been used for commercial or industrial purposes; and,
- yes ☐ no ☒ soil removal is required as part of this proposed permit.

If both of these are applicable (yes) consult with Schedule 2 of the *Contaminated Sites Regulations*, obtained from the Municipal Hall, to determine if a Site Profile is necessary. Additional information regarding contaminated sites is available from the municipality or from the BC Government website – Contaminated Sites page.

Development Variance Permit Application

Part 2

Consult with staff to determine non-applicable (N/A) items. Additional information may be requested during application review.

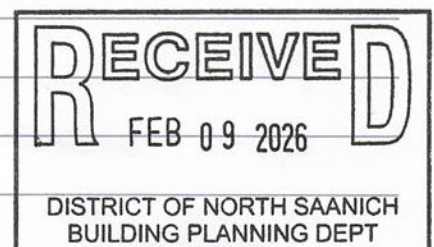
Req'd	Rec'd	Documents
☒	☒	Copy of Certificate of Title Current copy (30 days or less), including relevant covenants, rights-of-way & easements
☒	☒	Brief Rationale for Proposal Show justification for the variance(s)
☒	☒	Site Profile Complete "Schedule 1" from the Contaminated Sites Regulations
☐	☐	Community Comments Include any comments from neighbours/community associations

Req'd	Rec'd	Development Summary (data table on plans)
☒	☒	Owner & Designer/Architect
☒	☒	Civic & legal address
☐	☐	Project description
☒	☒	Site area & site coverage
☐	☐	Total floor area & floor area ratio (FAR)
☒	☒	All setbacks
☐	☐	Number & type of units
☐	☐	Parking requirements & calculations
☒	☒	Height of building
☒	☒	Variance(s) requested

Req'd	Rec'd	Plans	Details
☐	☐	Sets of metric plans	Reduced sets of metric plans
☐	☐	Site Plan metric scale only	North arrow and scale
☐	Dimensions of property lines, rights-of-way, easements		
☐	Dimensions & setbacks of all buildings & structures		
☐	Location of existing & proposed access, sidewalks, curbs, boulevards, edge of pavement & transit stops		
☒	☒		Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
☐	☐		Natural & finished grades
☐	☐		Locate all water lines, wells, septic fields, sanitary sewer & storm drain facilities
☐	☐		Locate high water mark, top of bank, natural boundaries, watercourses & riparian area on or within 30 m of property
☐	☐		Location & dimensions of free-standing signs (relating to DVP)
☐	☐		Identify requested variance(s)
☒	☒	Floor Plans min. scale 1:100	Uses of spaces & building dimensions
☐	☐	Elevations min. scale 1:100	Provide spec drawings of the proposed sauna.
☐	☐		Building finishes, materials & colours
☐	☐		Natural, finished grade & floor(s), roof & building height elevations
☒	☒		Locations & sizes of roof mechanical equipment, stairwells, elevator shafts etc that protrude above the roof line (if relating to DVP)
☐	☐		Building signage details (if relating to DVP)
☐	☐	Landscape Plan scale as site plan	Provide spec drawings of the proposed sauna. Elevation information should also be provided for the proposed deck and any new retaining walls (if any retaining)
☐	☐		If required to demonstrate requested variance(s)

Additional Requirements

Municipal
Specific
Requirements



Development Permit Area No. 1: Marine Uplands and Foreshore

Development Permit Application Guideline Review Table

Please refer to the Development Permit Guidelines set out in the District of North Saanich Official Community Plan, Bylaw No. 1587 (2025)

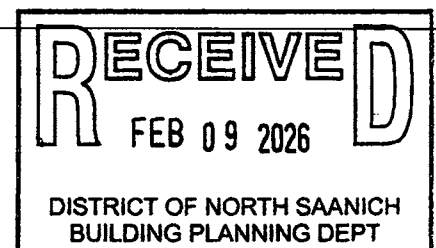
OCP Section	Guideline	Proposal Details (Describe how your proposal achieves the DP Guidelines)
5.10.2.2 (a)	Provide a minimum 15 metre setback from the natural boundary for new buildings and structures, or additions to existing buildings and structures unless otherwise exempted.	The proposed deck is in a previously disturbed area of the MUFDPA, and the stairs are to provide access to the shoreline.
5.10.2.2 (b)	No site alterations, including soil disturbance and tree removal, shall be permitted in the Marine Uplands and Foreshore Development Permit Area, as designated in Section 5.10.2 above, except those explicitly approved in a Development Permit or subject to the exemptions;	No tree removal is proposed, soil disturbance for the deck and stair installation will be minimized by using small concrete footings (E.g. sono tubes).
5.10.2.2 (c)	Any development or site alteration must be consistent with the Marine Areas policies established in Section 5.9 of the Official Community Plan; and	The proposal seeks to balance foreshore development (deck and stairs) with environmental and visual values. For this Rocky Shore, the proposed development, the deck has a small footprint within and an existing disturbed area, and the stairs are to provide access to the shore from an existing path. Native species plantings and invasive removal are recommended by the QEP.
5.10.2.2 (d)	Retention of existing trees and vegetation must be prioritized to preserve the existing habitat and to mitigate erosion.	No tree removal is proposed, the proposed deck is in a previously disturbed area of the MUFDPA, which is dominated by weedy plants, and the stairs are to provide access to the shoreline. The area of the stairs is dominated with English ivy and some native shrubs.
5.10.2.2 (e)	Where development includes improvements to the lands such as walkways, stairs, seawalls, and landscaping, the improvements should incorporate nature-based solutions as opposed to non-natural materials and non-native plantings;	A wood deck with concrete pillars is proposed, and stairs will be wood above the High Water Mark, and the portion of the stairs below the HWM must be constructed of non-toxic materials, suitable for salt water immersion.

5.10.2.2 (f)	Retaining walls are permitted where the area is subject to erosion and where a QEP identifies that natural shore revetment improvements (identified in Section 5.10.2.2(h)(i)) would be insufficient to mitigate natural erosion processes;	No retaining walls are proposed.
5.10.2.2 (g)	Hard landscaping and stairs shall be permitted to allow for the construction of one pathway on each property leading to the natural boundary/beach. The pathway must be designed to be no wider than 1.5-metres and be designed to limit the total footprint of the pathway. Use of permeable and natural materials is preferred.	Stairs are proposed to connect an existing path in the MUFDPA to the shoreline. Stairs will be we wood above the High Water Mark, and the portion of the stairs below the HWM must be constructed of non-toxic materials, suitable for salt water immersion.
5.10.2.2 (h)	Where shore protection measures are necessary to address natural erosion, shore revetment should be designed to incorporate nature-based solutions including the use of natural materials and vegetation. Hard revetment improvements such as stacked-boulder and concrete walls are discouraged except in cases where a professional has recommended this treatment in which case stacked-boulder walls will be preferred over concrete walls;	No shore protection structures are proposed.
5.10.2.2 (i)	In cases where hard revetment improvements are deemed necessary, the improvements should be designed to: i) facilitate habitat integration with the shore including tiered retention and natural landscaping; and ii) mimic the natural shoreline function and avoid redirecting erosion forces to adjacent properties.	No shore protection structures are proposed.
5.10.2.2 (j)	Modification of channels, banks or shores will not be permitted unless the applicant provides a compelling rationale as to why the works are necessary and identifies the works that will be undertaken to restore the habitat and local hydrological conditions;	No modification of chanells, banks, or shores are proposed.
5.10.2.2 (k)	Development must be designed to maintain the quality of any storm water flowing toward or into the ocean and to prevent any increase in volume and peak flow of runoff;	Footprint of deck and stairs is small, and they will be permeable, there is no expected change to runoff volumes in the MUFDPA

5.10.2.2 (l)	Where drainage is being directed to the ocean, the drainage system must include flow and erosion controls such as the implementation of holding tanks and splashpads, where deemed necessary by a qualified professional;	Drainage is not being directed to the ocean, runoff from the deck and stairs will be absorbed in the ground below.
5.10.2.2 (m)	Proposed development must be designed to avoid any increase in runoff and to prevent any effluent or storm water discharge that could have a detrimental effect on the environment.	Drainage is not being directed to the ocean, runoff from the deck and stairs will be absorbed in the ground below.
5.10.2.2 (n)	Controls are required on surface-water drainage to prevent pollutants from entering water features;	Drainage is not being directed to the ocean, runoff from the deck and stairs will be absorbed in the ground below.
5.10.2.2 (o)	All areas within 15-metres of the natural boundary of the ocean should be preserved and enhanced with vegetation that is: i) Non-invasive species; ii) Indigenous plants that are suitable for the local climate, site context, and suitable to address ongoing changes in climate; and iii) Drought resistant and not requiring watering systems.	Native plantings are proposed above the deck area. Invasive species removal recommended by the QEP.
5.10.2.2 (p)	Intensively landscaped areas and other related activities should be sited so as to prevent nutrient-rich water from entering natural water features;	Intensive landscaping is not proposed. Native plantings are proposed above the deck area. Invasive species removal is recommended by the QEP.
5.10.2.2 (q)	In cases where the development includes subdivision, the subdivision should be designed to maximize the preservation of the environment and natural habitats. Clustering of development in a manner that reduces the overall footprint of the development is preferred;	No subdivision is proposed.

5.10.2.2 (r)	Areas identified for protection and preservation as part of a subdivision, zoning, or variance approval should be protected through the implementation of restrictive covenants, along with fencing and signage requirements;	No covenants, fencing or signage are proposed.
5.10.2.2 (s)	In cases where the development includes construction of a new dock, float, or related improvement, these will be designed in a manner that mitigates alteration of the foreshore and that prioritizes the natural environment and does not impede wildlife;	No docks, floats, etc. are proposed.
5.10.2.2 (t)	Development within existing marinas, the development shall be designed to: i) minimize impermeable surfacing and hard revetment improvements; ii) direct intensive uses away from the shoreline to other areas of the property where feasible; and iii) Establish comprehensive waste management plan to treat drainage and to mitigate contaminants and other waste from entering the marine environment.	N/A
5.10.2.2 (u)	Areas of eelgrass shall be identified and protected on a no net-loss basis in alignment with the recommendations of a QEP.	No eel grass is present where the stairs are proposed.
5.10.2.2 (v)	Development proposals must indicate how the environmental areas are being improved, maintained, and protected. In cases where existing lots with development constraints are being developed/redeveloped, a no net-loss approach should be considered in the design of the development.	The proposed deck is in a previously disturbed area of the MUFDPA, and the stairs are to provide access to the shoreline. is present where the stairs are proposed. Native plantings are proposed above the deck area, and the QEP has recommended invasive species removal.

5.10.2.2 (w)	The above guidelines must be addressed by a Qualified Environmental Professional (QEP) through the submission of a letter or detailed environmental report, depending on the scale and scope of development. The letter or report must address the above guidelines and the following items: i) Any records listed in the BC Conservation Data Centre; ii) Any records/data contained in the British Columbia Ministry of Environment's Species and Ecosystem Explorer, specifically addressing plants and animals, and ecological communities; iii) Any records of red-listed, blue-listed, or Species at Risk Act listed species; iv) For any activity in the foreshore, documentation of Provincial and Federal approval with supporting technical reports; v) Submission of a site plan certified by a B.C. Land Surveyor that addresses the following: a) The surveyed location of property lines and the Natural Boundary; b) The proposed location of all development (principal and accessory structures, wells, septic disposal systems, driveways, parking areas, impermeable surfaces) in relation to the established boundaries of the Development Permit Area; c) The direction and quantity of any surface run-off before and after the proposed development; d) The siting and specifications of any existing or proposed stormwater management system. e) Any areas identified by the QEP as being environmentally sensitive and any buffer setbacks necessary to protect those areas; f) Existing trees (including retained and proposed for removal); g) Identification of areas subject to erosion, sloughing, flooding, or landslide; vi) A strategy to mitigate and reduce drainage flows, if required; and vii) Erosion and sediment control plan to address any areas subject to destabilization during land clearing, construction, and rehabilitation.	See Swell Environmental Consulting Ltd. report for environmental protection measures, including erosion and sediment control. A large BC Conservation Data Centre polygon for the BC red-listed Garry oak / California brome ecosystem overlaps the property and adjacent properties. One Garry oak tree is present in the MUFDPA, however the understory has been historically disturbed, and the indicative vegetation is not present on the site. The species recommended for plantings by the QEP are suitable for the Garry oak ecosystem.
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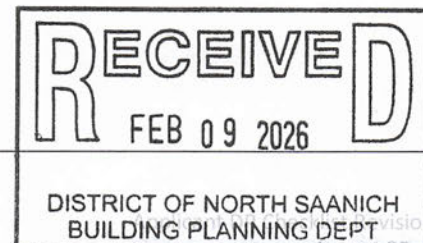


Development Permit Area No. 4: Steep Slopes

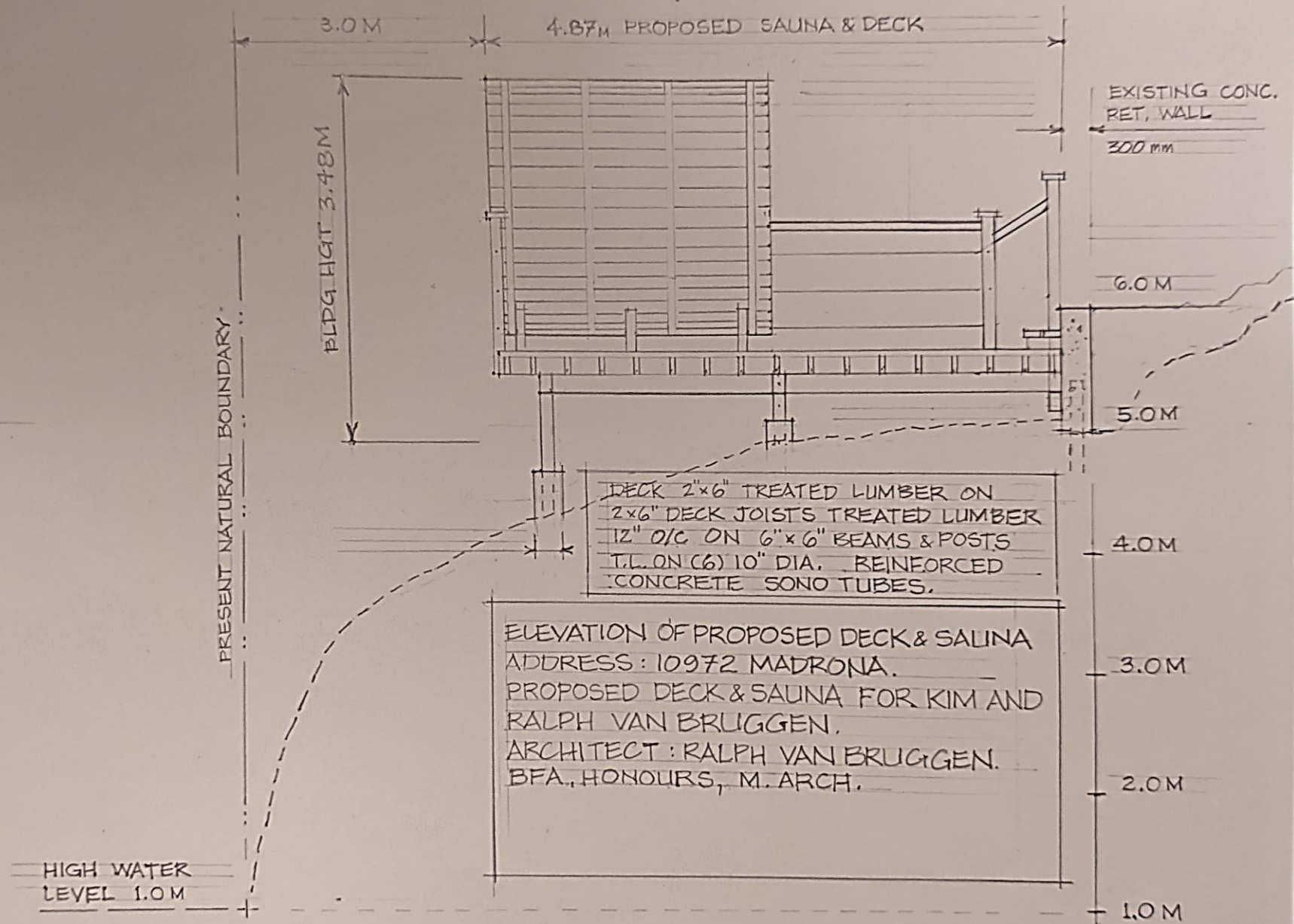
Development Permit Application Guideline Review Table

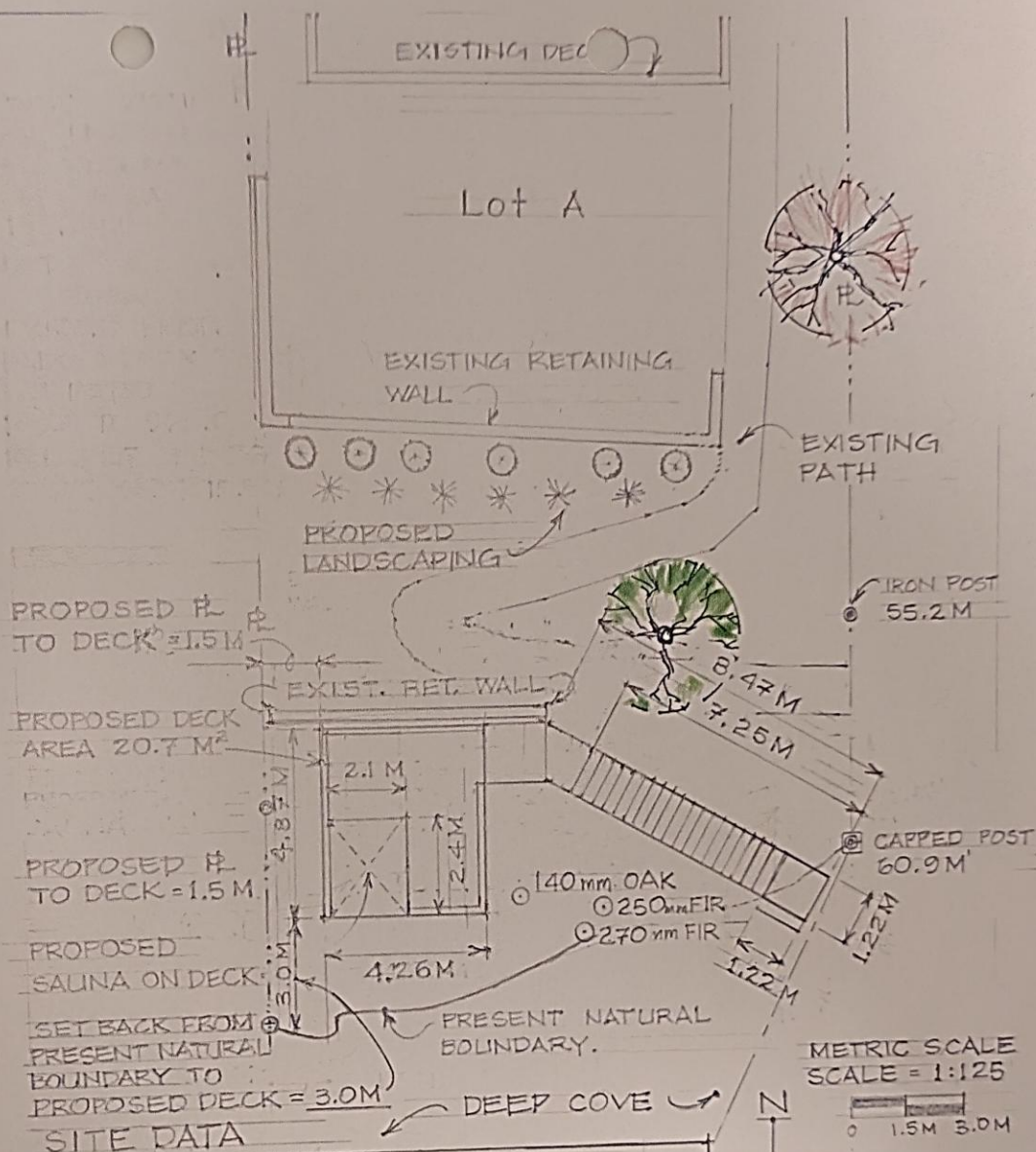
Please refer to the Development Permit Guidelines set out in the District of North Saanich Official Community Plan, Bylaw No. 1587 (2025)

OCP Section	Guideline	Proposal Details (Describe how your proposal achieves the DP Guidelines)
5.10.5.2 (a)	No unnecessary disturbance of the steep slope shall be permitted. Development shall preserve or return natural vegetation on steep slopes and retain the natural terrain, topography of the site, drainage patterns and minimize the cutting into, grading, or filling of slopes.	Development plans only require minor excavation limited to removal of organics and loose upper soil within footprint of foundation areas. No rock excavation and high disturbance earthworks are required. No significant fill placement or site grading is proposed and the existing topography will generally be maintained. The proposed development will not negatively impact drainage patterns or cause erosion. Mature existing trees near foreshore will be maintained.
5.10.5.2 (b)	Retaining walls and improvements will only be permitted in the case where the applicant can produce a report from a Qualified Geotechnical Professional identifying the hazard and the risk posed due to the existing condition, and the necessity of the retaining structure to address the hazard. In such cases, retaining improvements must be designed to minimize disturbance of the natural environment.	No retaining structures are proposed.
5.10.5.2 (c)	Stairs and pathways are discouraged and will only be considered in a steep slope area where the improvements are necessary to access another developable portion of the property or to access the foreshore.	Minor staircase/pathway is proposed to access the foreshore.
5.10.5.2 (d)	In the case of subdivision or rezoning, those areas identified as steep slope shall be kept free of any development or alteration and the area will be fenced.	No subdivision or rezoning proposed.
5.10.5.2 (e)	The District may require the applicant to enter into a Section 219 covenant agreement to ensure that steep slope areas are preserved in their natural state.	No covenant required.



5.10.5.2 (f)	An assessment report prepared by a Professional Engineer with relevant expertise and in conformance with applicable APEGBC Standards is required to assist in determining what conditions or requirements shall be included in the Development Permit so proposed development and adjacent properties are protected from the hazard and no increase in hazard is posed. At the discretion of the District, a peer-review of any such report may be required.	Conditions and requirements outlined in geotechnical assessment report dated December 4, 2025.
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SITE DATA

DEVELOPMENT VARIANCE REQUESTED

TOTAL LOT AREA = 960.0 M² (SITE AREA)

TOTAL BLDG. & DECK AREA = 149.2 M²

BLDG & DECK TO LOT RATIO = 15.5%

SECTION 110.3 (MARINE SETBACK)

BLDG HEIGHT 3.48M

REQ'D SETBACK 15.0M

PROPOSED SETBACK 3.0M

SITE PLAN LOT A SECTION 19

PROPOSED DECK FOR OWNERS
KIM & RALPH VAN BRUGGEN.

ADDRESS: 10972 MADRONA DR.

ARCHITECT: RALPH VAN BRUGGEN.
BFA, HONOURS M. ARCH.

