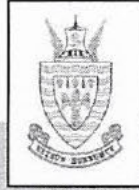


Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application
is submitted for
one or more of
the following:

- ☒ Rezoning/Bylaw Text Amendment
☐ OCP Amendment
☐ Development Permit
☐ Development Variance Permit

- ☐ Board of Variance
☐ Temporary Use Permit
☐ _____

Description of Property

Civic Address 9064 EAST SAANICH ROAD PID 006-647-811

Legal Lot 2 Block _____ Section 5 Range 2E Plan VIP2113

NORTH SAANICH LAND DISTRICT, EXCEPT PLAN 7470 & EXC PLAN 12686

Contacts

Please print clearly.

Applicant

Name	<u>GRANT LIEBSCHER</u>			Company	<u>PARSI DEVELOPMENTS</u>		
Address	[REDACTED]				City	<u>NORTH SAANICH</u>	
Email	[REDACTED]				Postal Code	[REDACTED]	
Phone	[REDACTED]		Cell	[REDACTED]		Fax	[REDACTED]

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

[REDACTED]	Date	<u>DEC 11, 2024</u>
------------	------	---------------------

Owner

If the applicant is
NOT the owner,
complete "Owner's
Authorization" form.

Name	<u>Ronald G. McCaig</u>			Company			
Address	[REDACTED]				City	[REDACTED]	
					Fax		

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted:

CASH

CHEQUE

INTERAC

Rezoning / OCP Amendment
Application



District of North Saanich
Planning & Community Services
1620 Mills Road, North Saanich, BC V8L 5S9
Phone: 250-655-5470 fax: 250-656-0782
www.northsaanich.ca

Part 2

Current Zoning R2 Proposed Zoning NEW CD ZONE
Current OCP Designation SPECIAL DEVELOPMENT AREA-EAST SAAMCA/CRESSWELL
Proposed OCP Designation NO CHANGE

Proposal Details

Property Size
(m² or ha)

12.67 ACRES

Existing Use

RESIDENTIAL (SFD)

Describe Proposal

TO REZONE FROM THE R2 TO A NEW CD ZONE
TO PERMIT A 38 LOT SFD SUBDIVISION.
- PLEASE SEE ATTACHED "PROPOSED NEW CD ZONE."

Justification
and Support

- PLEASE SEE ATTACHED "STATEMENT OF OCP COMPLIANCE"

Indicate
compliance
with the OCP
or DP Area
guidelines
and include
details of
community
benefits.

COMMUNITY BENEFITS INCLUDE PRESERVING 9.31% OF LAND AS PARK/GREENSPACE. THE PARK AREA AT 3381 m² WOULD INCLUDE A CHILDREN'S PLAYGROUND, LAWN & BBQ AREA, TREES, PARKING AREA, AND RAIN GARDEN.

WE ARE ALSO PROPOSING A 1/2 KM TRAIL TO CONNECT TO THE EXISTING TRAIL AT TEXADA TRAIL
(attach additional information to clarify)

Services
and
Covenants

Services shall be provided in a manner acceptable to the Municipality. Proposals shall be reviewed and additional information may be required. Please complete the following:

- | | | | |
|---|-----------------------------|------------------------------|--|
| yes ☒ | no ☐ | n/a ☐ | preliminary investigation has been completed to determine possible site servicing options (storm, sewer, water and access); |
| yes ☒ | no ☐ | n/a ☐ | servicing details are indicated on the submitted plans and/or attached brief, with reference to applicable land use and subdivision bylaws; and, |
| yes ☒ | no ☐ | n/a ☐ | registered covenants have been reviewed and plans reflect requirements. |

Site Profile for
Contaminated
Sites

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" on properties that are/were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

- | | | |
|------------------------------|--|--|
| yes ☐ | no ☒ | the property has been used for commercial or industrial purposes; and, |
| yes ☐ | no ☒ | soil removal is required as part of this proposed permit. |

If both of these are applicable (yes) consult with Schedule 2 of the *Contaminated Sites Regulations*, obtained from the Municipal Hall, to determine if a Site Profile is necessary. Additional information regarding contaminated sites is available at wlapwww.gov.bc.ca/epdiv/

- SITE DISCLOSURE STATEMENT ATTACHED.

Part 2

Information Required for Submission

Consult with staff to determine non-applicable (N/A) items. Additional information may be requested during application review.

Req'd	Rec'd	Documents & Models
		Copy of Certificate of Title Current copy (30 days or less), including relevant covenants, rights-of-way and easements
		Brief Rationale for Proposal Describe the justification and community benefit of the proposal
		Site Profile Complete "Schedule 1" from the Contaminated Sites Regulations
		Community Comments Include any comments from neighbours/community associations
		3-D Scale Model Show building massing, siting & relationship to adjacent sites

Development Summary (data table on plans)	
Owner & Designer/Architect	
Civic & legal address	
Project description	
Site area & site coverage	
Total floor area & floor area ratio (FAR)	
All setbacks	
Number & type of units	
Parking requirements & calculations	
Height of building	

Req'd	Rec'd	Plans	Details
		Sets of metric plans	Reduced sets of metric plans
			North arrow and scale
			Dimensions of property lines, rights-of-way, easements
			Dimensions & setbacks of proposed & existing buildings & structures
			Location of existing & proposed access, sidewalks, curbs, boulevards, edge of pavement & transit stops
			Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			Natural & finished grades of site, at buildings & retaining walls
			Locate all existing & proposed water lines, wells, septic fields, sanitary sewer & storm drain facilities, including sizes
			Locate high water mark, top of bank, natural boundaries, watercourses & riparian area on or within 30 m of property
			Above ground services, equipment and exterior lighting details
			Location & dimensions of free-standing signs
			Storm water management and surface permeability
			Include reference to BCLS site plan
		Site Plan metric scale only	
		Floor Plans min. scale 1:100	Uses of spaces & building dimensions Adaptable housing requirements (if applicable)
		Elevations min. scale 1:100	Building finishes, materials & colours Natural, finished grade & floor(s), roof & building height elevations Locations & sizes of roof mechanical equipment, stairwells, and elevator shafts that protrude above the roof line Examples of exterior finish colours Building signage details
		Landscape Plan scale as site plan	Location, quantity, size & species of existing & proposed plants, trees & turf Contour Information (2.0 m intervals) Major topographical features (water course, rocks, etc.) All screening (garbage/refuse collection), paving, retaining walls & other details Landscape Architect's landscape estimate

Additional Requirements

Municipal

Specific

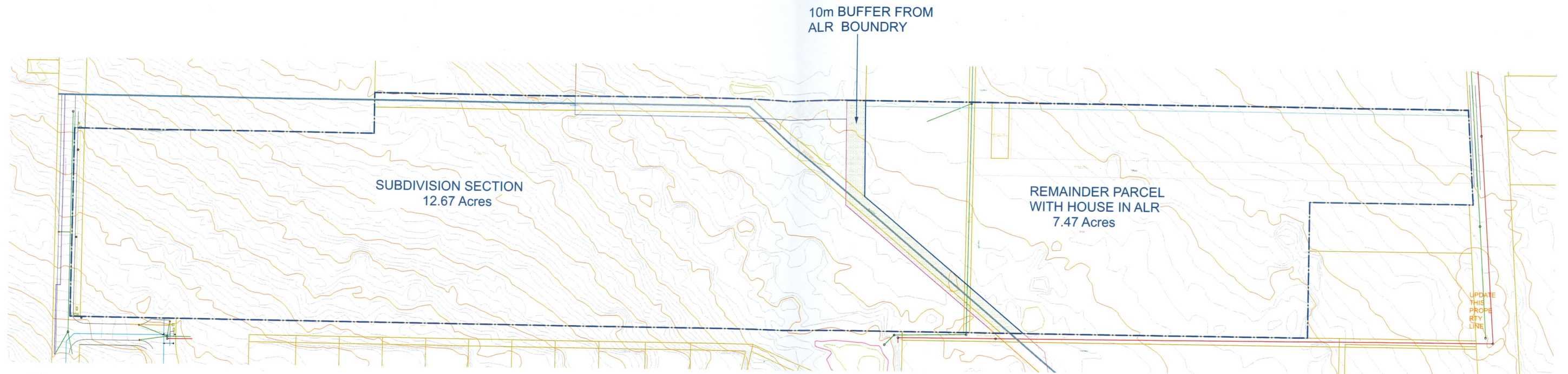
Requirements

Sketch Plan of Proposed Subdivision of Part of
Lot 2, Section 5, Range 2 East, North Saanich District, Plan 2113,
Except Those Parts in Plans 7470 and 12686
Parcel Identifier: 006-647-871 in the District of North Saanich

Scale 1 : 1250
0 10 50 100
All distances are shown in metres.
Plot on 11" x 17" sheet.



Date	February 3, 2025
Drawing	3366 SUB PRO 03
POWELL & ASSOCIATES B C Land Surveyors 250-2950 Douglas Street Victoria, BC V8T 4N4 Phone (250) 382-8855	



1
A1 SUBDIVISION PLAN
Scale: 1:1000



TAXADA PROPERTIES

2
A1 38 LOTS
Scale: 1:750

NOV 28/2024	A100
NEA	NEA
AS NOTED	1805

Parsi Development Ltd.

Project Name
9064 East Saanich Road
North Saanich District

Subdivision Plan

NOTE: All dimensions are shown in millimeters.

AS NOTED

A1

